



2023 PROJECT OF THE YEAR

# 9th AVENUE AND GANSEVOORT STREET RECONSTRUCTION

MANHATTAN, New York

Submitted To:



Submitted By:



JANUARY 31, 2023

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# AMERICAN SOCIETY OF HIGHWAY ENGINEERS

## National Project of the Year Award

### OFFICIAL ENTRY FORM

**AWARD CATEGORY** (Check One):  Under \$20 Million  Over \$20 Million

**SPONSORING REGION** (Check One):

- |   |  |   |
|---|--|---|
| <input checked="" type="checkbox"/> Northeast | <input type="checkbox"/> Great Lakes   | <input type="checkbox"/> Northwest      |
| <input type="checkbox"/> Mid-Atlantic         | <input type="checkbox"/> North Central | <input type="checkbox"/> Rocky Mountain |
| <input type="checkbox"/> Southeast            | <input type="checkbox"/> South Central | <input type="checkbox"/> Southwest      |

### **CONTACT INFORMATION FOR SUBMITTING REGION:**

Contact Name: James Allen, WSP USA ASHE Region Position: Member  
Phone (Office): 914-253-5560 Phone (Mobile): 917-806-6712 E-Mail Address: james.allen@wsp.com

### **PROJECT INFORMATION:**

ENTERING AGENCY/COMPANY'S NAME: WSP USA  
PROJECT NAME: 9th Avenue and Gansevoort Street Reconstruction TYPE: Construction Management  
PROJECT LOCATION: New York  
CITY: New York COUNTY: New York County STATE: New York  
FINAL CONSTRUCTION COST: \$18 million BUDGETED CONSTRUCTION COST: 17.2 million  
PROJECT COMPLETION DATE: 6/30/2022

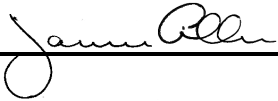
PROJECT ASHE SECTION: New York Metro ASHE SECTION CONTACT NAME: Scott R. Eshenaur  
PHONE (OFFICE): 717.790.9565 PHONE (MOBILE): 717.580.8426 E-MAIL: sreshenaur@modjeski.com  
ext. 10422

### **PROJECT TEAM:**

PROJECT OWNER: New York City Department of Design & Construction  
STREET ADDRESS: 40 Worth Street, Room 836  
CITY: New York STATE: New York ZIP: 10013  
CONTACT PERSON: Iyad Marzouq, PE PHONE: 212-313-3524  
E-MAIL ADDRESS: Marzouqi@ddc.nyc.gov

OWNER'S REPRESENTATIVE: WSP USA  
STREET ADDRESS: Penn One 250 West 34th Street, 4th Floor  
CITY: New York STATE: New York ZIP: 10019  
CONTACT PERSON: James Allen PHONE: 917-806-6712  
E-MAIL ADDRESS: james.allen@wsp.com

PRIME CONTRACTOR: Triumph Construction Corp.  
STREET ADDRESS: 1354 Seneca Aveune  
CITY: Bronx STATE: New York ZIP: 10474  
CONTACT PERSON: Michael Cuzzi PHONE: 718-861-6060  
E-MAIL ADDRESS: mcuzzi@triumphconstructionny.com

Entry Form Completed By:  Date: February 3, 2023

## 9<sup>th</sup> Avenue and Gansevoort Street Reconstruction Manhattan, New York



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### INTRODUCTION

Once an industrial district, the Meatpacking District in lower Manhattan, the area is now a hub for fashion, food, tech, art, and culture. A 24/7/365 neighborhood for visitors and residents alike, the area was plagued with truck traffic and noise. Begun as a traffic calming measure but becoming much more of a neighborhood improvement effort, WSP was contracted by New York Department of Design and Construction (NYCDDC) to manage an \$18 million project that involved roadway and plaza reconstruction along 9th Avenue and Gansevoort Street including full depth roadway reconstruction, water main and sewer installation, trolley track removal, private utility relocation and capital program.

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### COMPLEXITY

An economic engine with world class businesses, hospitality, flourishing art, and tech, as well as the myriad of high-end retail stores generates an enormous amount of vehicular and pedestrian traffic. Keeping the area safe and accessible 24 hours a day at the crossroads of this six point intersection was a key project challenge. In addition to safety concerns, the utility relocation work involved in this historic area added to the project complexity in addition to coordination with adjacent area construction projects. Internal and external communication was vital to the project's success.

**Safety and Community:** For this bustling neighborhood, safety and community outreach were paramount for NYCDDC and Meatpacking BID. The project team, in conjunction with our construction community liaison, worked to keep residents and businesses informed of upcoming activities. With so many roads converging in a small area, our team developed and implemented detailed maintenance and protection of traffic (MPT) plans. In a high traffic, visible area, the onsite team became daily ambassadors for the project.

Effective community outreach was accomplished through the distribution of weekly and monthly newsletters as well as daily "door-to-door" visits. The publications included information regarding street closures and impacts to general access, parking/delivery, and water shutdowns. A weekly meeting was held with the executive director of the Meatpacking Bid to discuss upcoming activities and address community concerns.

**Extensive Utility Coordination:** Digging under lower Manhattan streets is always challenging. In this historic area, the utilities were not only found to be threaded carefully between one another but located dangerously

**WSP USA | 9<sup>TH</sup> AVENUE AND GANSEVOORT STREET RECONSTRUCTION |  
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close to the surface. Extensive underground private utility upgrades, including many facilities with shallow cover threatened to delay the work and schedule. Working with Con Edison was critical to the project. It was discovered that two Con Edison gas mains were sitting on top of an important water main. This tenuous situation required immediate attention. Two Con Edison inspectors were onsite throughout construction to address these types of issues. Our nimble team brought the inspectors and contractor representatives, as well as other utility representative, together onsite to address this and other unforeseen conditions that could impact the schedule.

WSP worked minimize delays by ensuring all critical submittals and necessary construction were performed by the contractor in a timely manner with attention given to MPT plans, permits, utility agreements and interference relocation. Our team's proactive approach helped to reach effective solutions necessary to progress the work. Utility companies included: Con Edison, Verizon/ECS, CenturyLink, Spectrum, AT&T, Zayo, Level 3 and Crown Castle.

**Adjacent Area Projects:** A sought after location, other construction projects were directly adjacent to the plaza, utility and roadway work:

- A water project to the north of this site
- A cobble stone project on 14<sup>th</sup>, 13<sup>th</sup>, and Little West 12<sup>th</sup>, and 9<sup>th</sup> Avenue west of the project limits
- New building construction on the southwest corner of West 15<sup>th</sup>, and fit-out of two industrial spaces for Starbucks Reserve and Restoration Hardware. Simultaneously other custom fit-outs included Hermes, Loro Piana and a Dior popout

Our team remained flexible and communicated often with representatives from these adjacent projects to have the least amount of impact possible on the neighborhood.

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### ***NEW APPLICATION OF EXISTING TECHNIQUES/ORIGINALITY/INNOVATION***

Successfully completing roadway relocation, utility reconstruction and plaza construction in a NYC historic district is like conducting an orchestra at Carnegie Hall. Our team worked in concert with the client; contractor; eight utility companies; NYSDOT; NYCDOT Traffic, Street Lighting and Plaza Groups; NYC Parks; NYC Pedestrian Ramp Program; NYCDEP; FHWA; MTA; NYPD; FDNY; 2 Community Boards and the Meatpacking Bid and representatives from the three simultaneous, directly adjacent construction projects.

WSP chaired regularly scheduled job progress meetings and special meetings to address specific problems. Quickly respond to contractors' inquiries to ensure that all conflicts and issues raised by the contractor were addressed expeditiously by reaching out to all parties involved and scheduling any meetings necessary to resolve them. This was accomplished by taking an active role by following up and providing responses and solutions to any issues using good engineering judgment and taking NYCDDC and the City's interest into consideration.

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### ***SOCIAL/ECONOMIC CONSIDERATIONS***

With almost two-thirds of an acre that is now safe for people to enjoy, the new plaza areas have helped to breathe new life into this fast-growing area. Over 10 years ago the Gansevoort and Chelsea Plaza were conceived as a traffic calming measure. Today, local street traffic is rerouted around scenic cobblestone spaces to sit for coffee or a meal. WSP worked with the contractor overseeing the careful removal and storage of the area's historic cobblestones. 18% of the 255,000 cobblestones placed were preserved from the original streetscape.

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The development of outdoor spaces that didn't previously exist helped unite the neighborhood residents, businesses and visitors. Many activities take place in the plazas from free flu shot clinics, music and art installations to holiday and seasonal events, including Halloween Treats in the Streets and LEAF Flower Festivals to Fashion Week. The team coordinated construction with businesses and community groups to accommodate the events.

With high-end retailers such as Hermes, Rolex, Restoration Hardware and Loro Piana to restaurants/clubs, including Chelsea Market, Buddakan, and Tao, along with the Whitney Museum of American Art, Soho House and the High Line, this area became even more desirable and vital to the economy. Safer, more attractive streets and walkways makes this historic spot a destination that encourages people to linger longer and enjoy.

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### ***SAFETY***

Safety was in the forefront of the project from day one. As the prime consultant, WSP on behalf of NYCDDC, managed and coordinated the daily construction and administrative activities, including overseeing a safe work site throughout construction. During the preconstruction phase, we established lines of communication to stakeholders and notified them of the project scope, schedule and impacts to the roadways and sidewalks. Plan reviews were conducted for potential construction and safety issues and/or discrepancies with existing site conditions and assessed any possible project impact.

During the construction phase, we ensured project safety through strict adherence to the maintenance and MPT plans as well as timber curb and fencing and jersey barrier protection. For an additional layer of protection, we utilized crossing guards on days where heavy equipment was moving across the site to keep pedestrians safe.

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### ***AESTHETICS/SUSTAINABLE FEATURES***

NYCDDC and a non-profit business alliance, the Meatpacking BID, were dedicated to preserving neighborhood history while making the area diverse and dynamic. A landmark area the team worked with SHPO to preserve street cobble stones to be reused after the roadway was realigned for the new Gansevoort and Chelsea Plaza spaces and expanded sidewalks. The project also preserved the historic manhole covers and installed new street lighting and traffic signals that complement the historic 1900s buildings. New granite ADA-compliant pedestrian ramps, granite slabs in crosswalks and bike paths were also installed. The large granite blocks were matched to maintain the area's historic character and serve as a protective barrier between vehicles and pedestrians.

Building upon the park/café atmosphere, over 1,200 square feet of fixed planters were placed along 9<sup>th</sup> Avenue with 40, 10' by 5' moveable planters holding more than 4,000 perennials and shrubs and 30 trees. Street furniture is placed in the plaza (240 chairs, 60 tables with umbrellas set up daily) to enhance the quality of life in this neighborhood.

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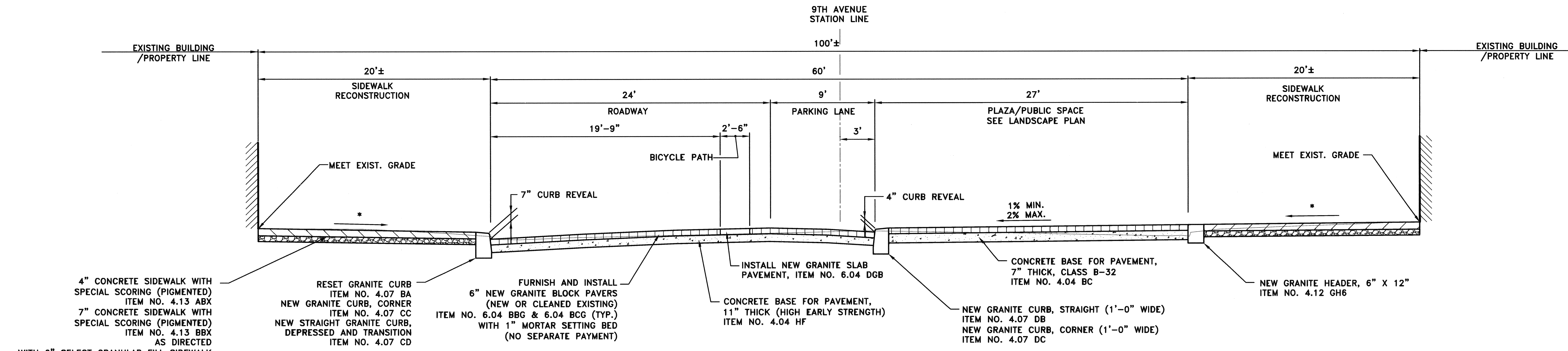
### ***MEETING AND EXCEEDING OWNER'S/CLIENT'S NEEDS***

As a result of years of planning, engineering, and ingenuity WSP delivered a project for the client that created a buzz and will pay dividends for years to come in the trendiest neighborhood in NYC. WSP was able to pay testament to the historic fabric of the Meatpacking District in the neighborhood reconstruction while literally paving the way into a more energetic future incorporating new ideas in urban design and

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environmental protection. These new spaces are beautiful, and ADA accessible for all people to enjoy—making it a perfect urban oasis.

NYCDDC Commissioner (WSP's client), Lorraine Grillo, about the improved neighborhood: "Plaza projects are a favorite of ours because they do something that's very important: They create new pedestrian space, space for people that used to be for cars. Prioritizing people over vehicles is in keeping with (then) Mayor de Blasio's vision for a safer and more equitable New York City," Grillo said. "The city's design and construction teams also went to great lengths to help preserve the historic nature of the neighborhood, reusing old cobblestones and granite slabs where possible, and bringing in new granite that matches the old stone in color and character."

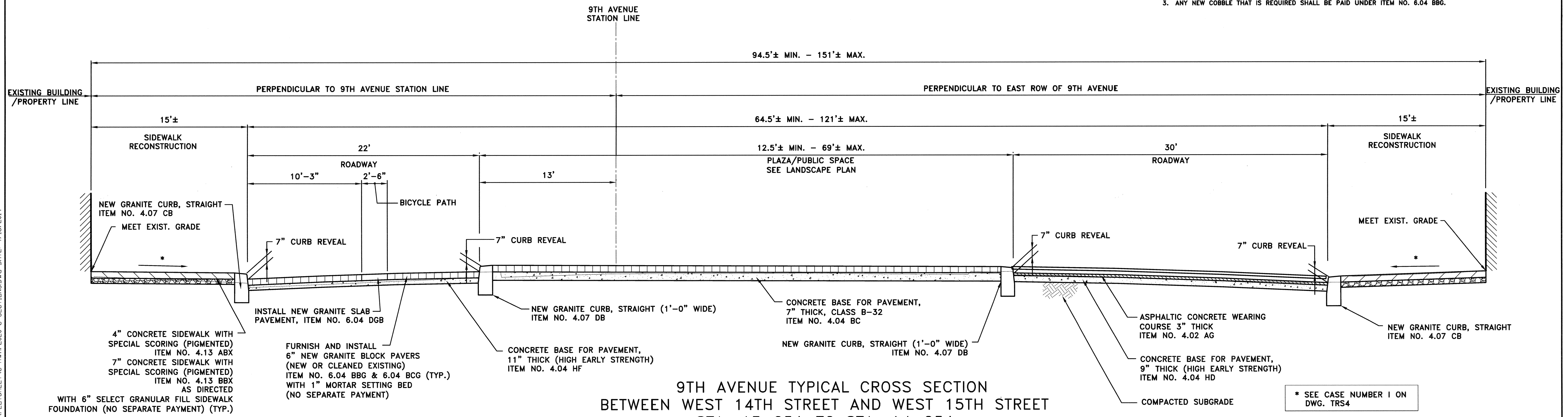


**9TH AVENUE TYPICAL CROSS SECTION  
BETWEEN LITTLE WEST 12TH STREET AND WEST 14TH STREET  
STA. 7+60± TO STA. 12+50±  
NOT TO SCALE**

\* SEE CASE NUMBER 1 ON DWG. TRS4

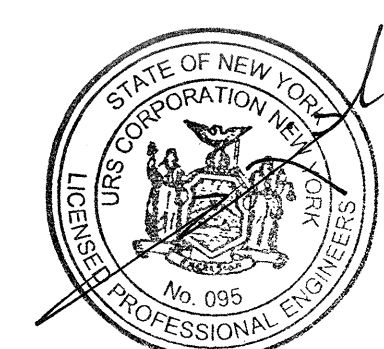
**NOTES:**

1. ALL EXISTING GRANITE CURB SHALL BE SALVAGED AND ASSESSED AS DESCRIBED IN SPECIFICATION 4.07A - GRANITE BOCK. THE SALVAGED GRANITE CURB SHALL BE RESET ALONG THE WEST CURB OF 9TH AVENUE BETWEEN LITTLE W. 12TH STREET AND W. 14TH STREET AND SHALL BE PAID UNDER 4.07 BA.
2. ALL EXISTING COBBLE SHALL BE SALVAGED AND CLEANED AS DESCRIBED IN SPECIFICATION 6.04 - GRANITE BLOCK WEARING COURSE, AND SHALL BE PAID UNDER ITEM NO. 6.04 BCG AND SHALL BE PLACED AS SHOWN ON PAVING KEY PLANS ON DWGS. UDD1 AND UDD2
3. ANY NEW COBBLE THAT IS REQUIRED SHALL BE PAID UNDER ITEM NO. 6.04 BBG.



**9TH AVENUE TYPICAL CROSS SECTION  
BETWEEN WEST 14TH STREET AND WEST 15TH STREET  
STA. 13+25± TO STA. 14+25±  
NOT TO SCALE**

\* SEE CASE NUMBER 1 ON DWG. TRS4



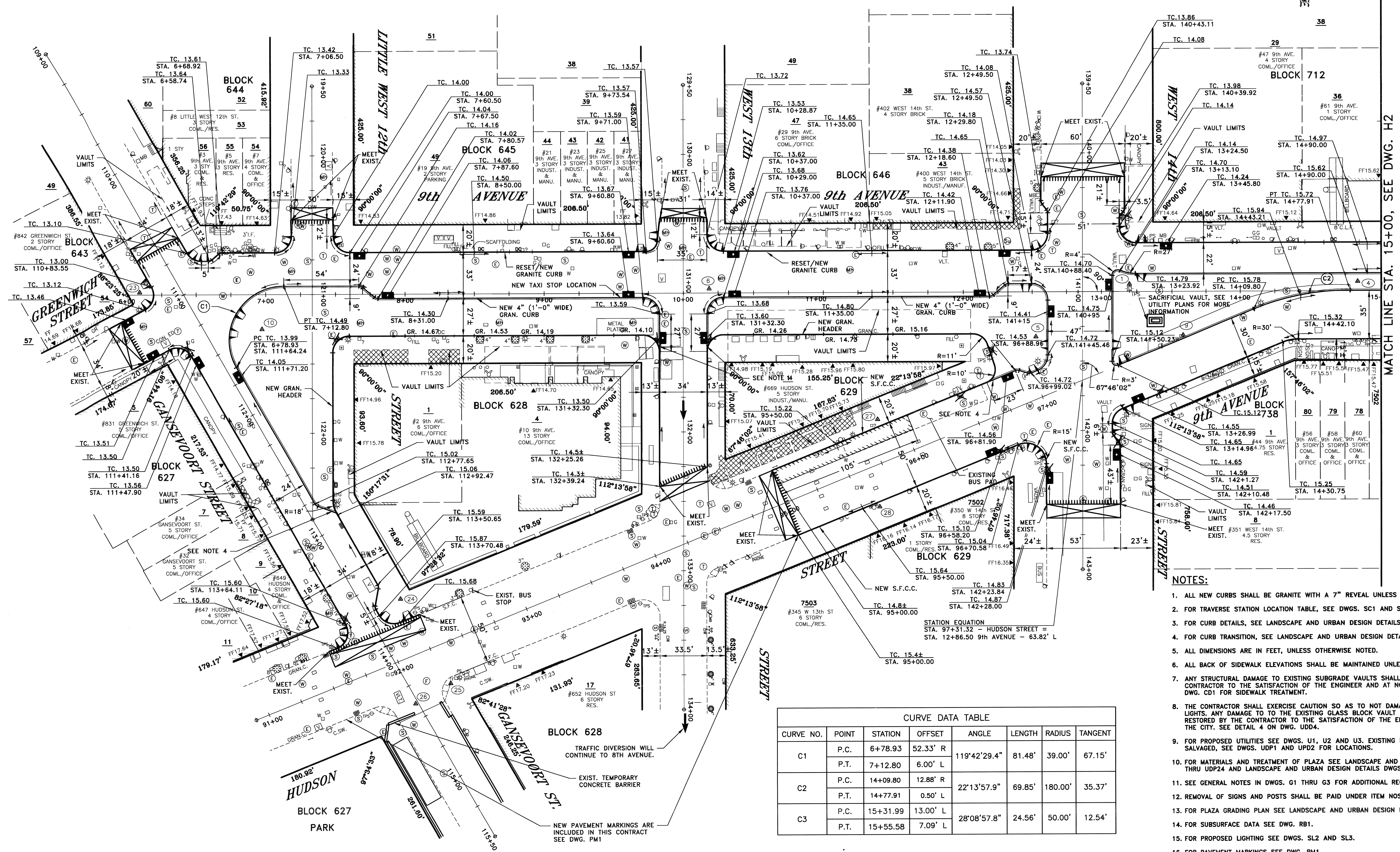
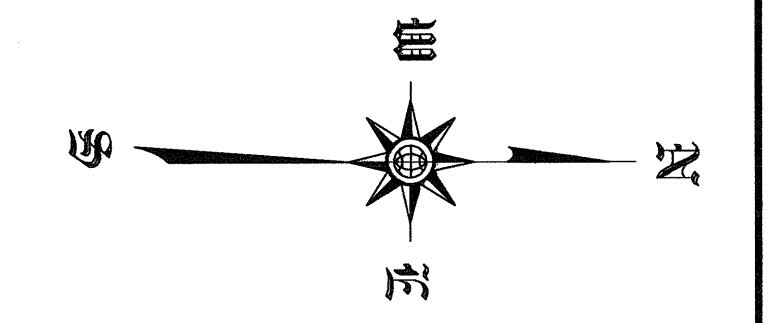
IT IS A VIOLATION OF SECTION 7209.2 OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER IN ANY WAY PLANS, SPECIFICATIONS, PLATS OR REPORTS TO WHICH THE SEAL OF A PROFESSIONAL ENGINEER HAS BEEN APPLIED. IF AN ITEM BEARING THE SEAL OF A PROFESSIONAL ENGINEER IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE, THE DATE, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

NO.	DATE	DESCRIPTIONS	BY	APPR'D
REVISIONS				

FILENAME: I:\0313255\_GANSEVOORT\CAD\CIVIL\PLTS\SECTION-C-SECTIONS.DWG DATE: 4/18/2014

ENGINEER: URS CORPORATION LANDSCAPE: KEN SMITH LANDSCAPE ARCHITECT URBAN DESIGNER: MARVEL ARCHITECTS SURVEYOR: AIA ENGINEERS, LTD., PLLC	FINAL DESIGN PREPARED BY: URS CORPORATION TOURAJ TEHRANI, P.E.	DRAWN BY: LS CADD FILE: C:\HMP2020-C-SECTIONS.DWG	SCALE: AS SHOWN	CITY OF NEW YORK DEPARTMENT OF DESIGN + CONSTRUCTION DIVISION OF INFRASTRUCTURE BUREAU OF DESIGN	TYPICAL CROSS SECTIONS - I	PROJECT ID: HWM2020 NYS DOT PIN: X550.67	DATE: 4-3-2014	SHEET 10 OF 89	TRS1 TRS4
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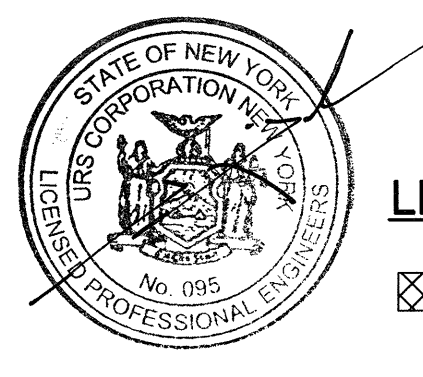
MATCH LINE STA. 15+00, SEE DWG. H2

- NOTES:**
1. ALL NEW CURBS SHALL BE GRANITE WITH A 7" REVEAL UNLESS OTHERWISE SHOWN ON PLANS.
  2. FOR TRAVERSE STATION LOCATION TABLE, SEE DWGS. SC1 AND SC2.
  3. FOR CURB DETAILS, SEE LANDSCAPE AND URBAN DESIGN DETAILS NO. 12 AND 13 ON DWG. UDD4.
  4. FOR CURB TRANSITION, SEE LANDSCAPE AND URBAN DESIGN DETAILS NO. 6 AND 7 ON DWG. UDD5.
  5. ALL DIMENSIONS ARE IN FEET, UNLESS OTHERWISE NOTED.
  6. ALL BACK OF SIDEWALK ELEVATIONS SHALL BE MAINTAINED UNLESS OTHERWISE NOTED.
  7. ANY STRUCTURAL DAMAGE TO EXISTING SUBGRADE VAULTS SHALL BE REPAIRED AND RESTORED BY THE CONTRACTOR TO THE SATISFACTION OF THE ENGINEER AND AT NO ADDITIONAL COST TO THE CITY. SEE DWG. CD1 FOR SIDEWALK TREATMENT.
  8. THE CONTRACTOR SHALL EXERCISE CAUTION SO AS TO NOT DAMAGE THE EXISTING GLASS BLOCK VAULT LIGHTS. ANY DAMAGE TO THE EXISTING GLASS BLOCK VAULT LIGHTS SHALL BE REPAIRED AND RESTORED BY THE CONTRACTOR TO THE SATISFACTION OF THE ENGINEER AND AT NO ADDITIONAL COST TO THE CITY. SEE DETAIL 4 ON DWG. UDD4.
  9. FOR PROPOSED UTILITIES SEE DWGS. U1, U2 AND U3. EXISTING HISTORIC MANHOLE COVERS SHALL BE SALVAGED, SEE DWGS. UDP1 AND UDP2 FOR LOCATIONS.
  10. FOR MATERIALS AND TREATMENT OF PLAZA SEE LANDSCAPE AND URBAN DESIGN PLANS DWGS. UDP1 THRU UDP24 AND LANDSCAPE AND URBAN DESIGN DETAILS DWGS. UDD1 THRU UDD14.
  11. SEE GENERAL NOTES IN DWGS. G1 THRU G3 FOR ADDITIONAL REQUIREMENTS.
  12. REMOVAL OF SIGNS AND POSTS SHALL BE PAID UNDER ITEM NOS. 6.82 A AND 6.82 B.
  13. FOR PLAZA GRADING PLAN SEE LANDSCAPE AND URBAN DESIGN PLANS DWGS. UDP12 AND UDP13
  14. FOR SUBSURFACE DATA SEE DWG. RB1.
  15. FOR PROPOSED LIGHTING SEE DWGS. SL2 AND SL3.
  16. FOR PAVEMENT MARKINGS SEE DWG. PM1.

CURVE DATA TABLE

CURVE NO.	POINT	STATION	OFFSET	ANGLE	LENGTH	RADIUS	TANGENT
C1	P.C.	6+78.93	52.33' R	119°42'29.4"	81.48'	39.00'	67.15'
	P.T.	7+12.80	6.00' L				
C2	P.C.	14+09.80	12.88' R	22°13'57.9"	69.85'	180.00'	35.37'
	P.T.	14+77.91	0.50' L				
C3	P.C.	15+31.99	13.00' L	28°08'57.8"	24.56'	50.00'	12.54'
	P.T.	15+55.58	7.09' L				

**PLAN**  
SCALE: 1"=30'



**LEGEND**  
 SUBGRADE VAULT WITH LESS THAN 18" COVER. SEE DWG. CD1 FOR SIDEWALK TREATMENT.

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NO.	DATE	DESCRIPTIONS	BY	APPR'D

FILENAME: I:\0310255 GANSEVOORT CAD\CIVIL\PLANS\CONSTRUCTION.DWG DATE: 4/18/2014

ENGINEER:  
URS CORPORATION  
 LANDSCAPE:  
KEN SMITH LANDSCAPE ARCHITECT  
 URBAN DESIGNER: MARVEL ARCHITECTS  
 SURVEYOR:  
AIA ENGINEERS, LTD., PLLC

FINAL DESIGN PREPARED BY:  
URS CORPORATION  
 TOURAJ TEHRANI, P.E.

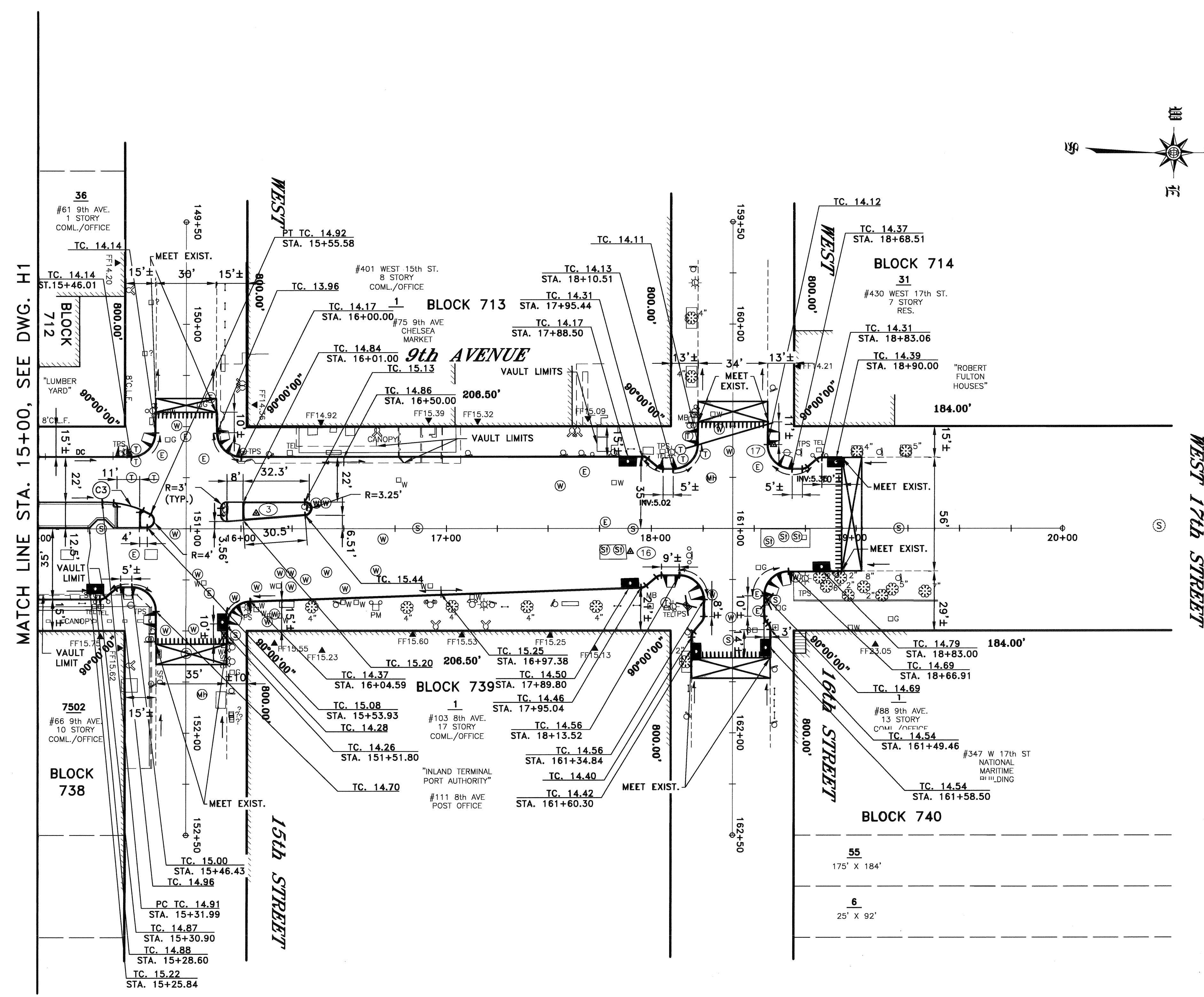
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 SCALE: AS SHOWN

CITY OF NEW YORK  
 DEPARTMENT OF DESIGN + CONSTRUCTION  
 DIVISION OF INFRASTRUCTURE  
 BUREAU OF DESIGN

HIGHWAY CONSTRUCTION PLAN-I

RECONSTRUCTION OF 9TH AVENUE/  
 GANSEVOORT AREA  
 BOROUGH OF MANHATTAN  
 PROJECT ID: HWMP2020  
 NYSDOT PIN: X550.67  
 DATE: 4-3-2014  
 SHEET 14 OF 89  
 H1  
 H2

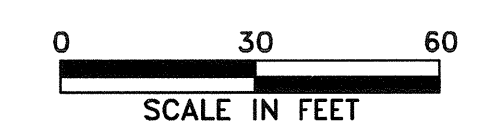
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PLAN  
SCALE: 1"=30'

**NOTES:**

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2. FOR TRAVERSE STATION LOCATION TABLE, SEE DWGS. SC1 AND SC2.
3. FOR CURB DETAILS, SEE LANDSCAPE AND URBAN DESIGN DETAILS NO. 12 AND 13 ON DWG. UDD4.
4. FOR CURB TRANSITION, SEE LANDSCAPE AND URBAN DESIGN DETAILS NO. 6 AND 7 ON DWG. UDD5.
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16. FOR PAVEMENT MARKINGS SEE DWG. PM1.



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SURVEYOR:  
AIA ENGINEERS, LTD., PLLC

FINAL DESIGN PREPARED BY:  
URS CORPORATION  
TOURAJ TEHRANI, P.E.

DRAWN BY: LS  
SCALE AS SHOWN  
CADD FILE: C:\HWMP2020-CON-HIGHWAY CONSTRUCTION\DWG

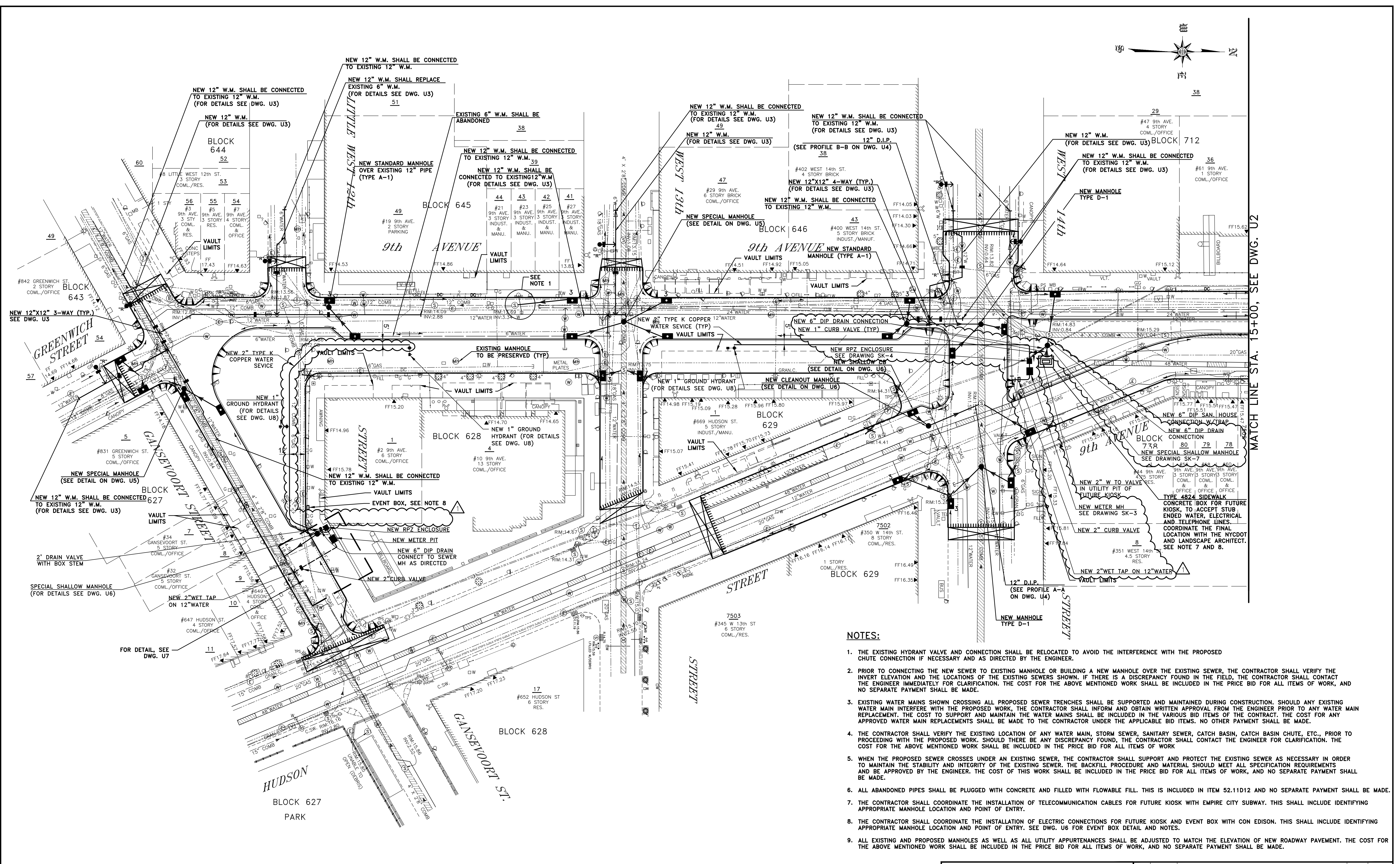
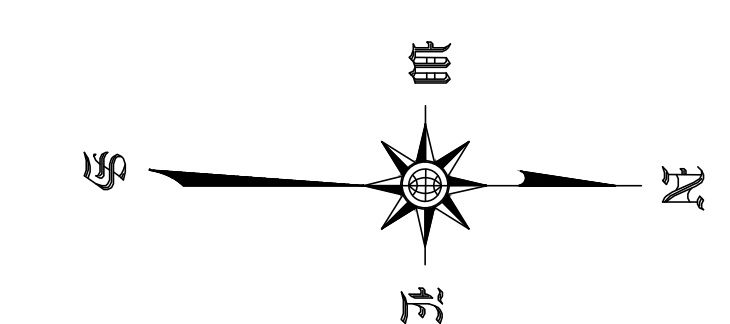
CITY OF NEW YORK  
DEPARTMENT OF DESIGN + CONSTRUCTION  
DIVISION OF INFRASTRUCTURE  
BUREAU OF DESIGN

HIGHWAY CONSTRUCTION PLAN-II

RECONSTRUCTION OF 9TH AVENUE/  
GANSEVOORT AREA  
BOROUGH OF MANHATTAN

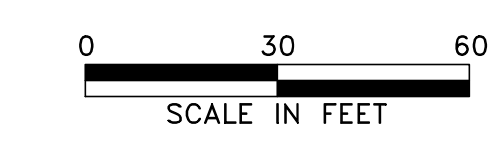
PROJECT ID: HWMP2020  
NYS DOT PIN: X550.67

DATE: 4-3-2014  
SHEET 15 OF 89



- NOTES:**
1. THE EXISTING HYDRANT VALVE AND CONNECTION SHALL BE RELOCATED TO AVOID THE INTERFERENCE WITH THE PROPOSED CHUTE CONNECTION IF NECESSARY AND AS DIRECTED BY THE ENGINEER.
  2. PRIOR TO CONNECTING THE NEW SEWER TO EXISTING MANHOLE OR BUILDING A NEW MANHOLE OVER THE EXISTING SEWER, THE CONTRACTOR SHALL VERIFY THE INVERT ELEVATION AND THE LOCATIONS OF THE EXISTING SEWERS SHOWN. IF THERE IS A DISCREPANCY FOUND IN THE FIELD, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY FOR CLARIFICATION. THE COST FOR THE ABOVE MENTIONED WORK SHALL BE INCLUDED IN THE PRICE BID FOR ALL ITEMS OF WORK, AND NO SEPARATE PAYMENT SHALL BE MADE.
  3. EXISTING WATER MAINS SHOWN CROSSING ALL PROPOSED SEWER TRENCHES SHALL BE SUPPORTED AND MAINTAINED DURING CONSTRUCTION. SHOULD ANY EXISTING WATER MAIN INTERFERE WITH THE PROPOSED WORK, THE CONTRACTOR SHALL INFORM AND OBTAIN WRITTEN APPROVAL FROM THE ENGINEER PRIOR TO ANY WATER MAIN REPLACEMENT. THE COST TO SUPPORT AND MAINTAIN THE WATER MAINS SHALL BE INCLUDED IN THE VARIOUS BID ITEMS OF THE CONTRACT. THE COST FOR ANY APPROVED WATER MAIN REPLACEMENTS SHALL BE MADE TO THE CONTRACTOR UNDER THE APPLICABLE BID ITEMS. NO OTHER PAYMENT SHALL BE MADE.
  4. THE CONTRACTOR SHALL VERIFY THE EXISTING LOCATION OF ANY WATER MAIN, STORM SEWER, SANITARY SEWER, CATCH BASIN, CATCH BASIN CHUTE, ETC., PRIOR TO PROCEEDING WITH THE PROPOSED WORK. SHOULD THERE BE ANY DISCREPANCY FOUND, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR CLARIFICATION. THE COST FOR THE ABOVE MENTIONED WORK SHALL BE INCLUDED IN THE PRICE BID FOR ALL ITEMS OF WORK.
  5. WHEN THE PROPOSED SEWER CROSSES UNDER AN EXISTING SEWER, THE CONTRACTOR SHALL SUPPORT AND PROTECT THE EXISTING SEWER AS NECESSARY IN ORDER TO MAINTAIN THE STABILITY AND INTEGRITY OF THE EXISTING SEWER. THE BACKFILL PROCEDURE AND MATERIAL SHOULD MEET ALL SPECIFICATION REQUIREMENTS AND BE APPROVED BY THE ENGINEER. THE COST OF THIS WORK SHALL BE INCLUDED IN THE PRICE BID FOR ALL ITEMS OF WORK, AND NO SEPARATE PAYMENT SHALL BE MADE.
  6. ALL ABANDONED PIPES SHALL BE PLUGGED WITH CONCRETE AND FILLED WITH FLOWABLE FILL. THIS IS INCLUDED IN ITEM 52.11D12 AND NO SEPARATE PAYMENT SHALL BE MADE.
  7. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF TELECOMMUNICATION CABLES FOR FUTURE KIOSK WITH EMPIRE CITY SUBWAY. THIS SHALL INCLUDE IDENTIFYING APPROPRIATE MANHOLE LOCATION AND POINT OF ENTRY.
  8. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ELECTRIC CONNECTIONS FOR FUTURE KIOSK AND EVENT BOX WITH CON EDISON. THIS SHALL INCLUDE IDENTIFYING APPROPRIATE MANHOLE LOCATION AND POINT OF ENTRY. SEE DWG. U6 FOR EVENT BOX DETAIL AND NOTES.
  9. ALL EXISTING AND PROPOSED MANHOLES AS WELL AS ALL UTILITY APPURTENANCES SHALL BE ADJUSTED TO MATCH THE ELEVATION OF NEW ROADWAY PAVEMENT. THE COST FOR THE ABOVE MENTIONED WORK SHALL BE INCLUDED IN THE PRICE BID FOR ALL ITEMS OF WORK, AND NO SEPARATE PAYMENT SHALL BE MADE.

**PLAN**  
SCALE: 1"=30'



IT IS A VIOLATION OF SECTION 7209.2 OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER IN ANY WAY PLANS, SPECIFICATIONS, PLATS OR REPORTS TO WHICH THE SEAL OF A PROFESSIONAL ENGINEER HAS BEEN APPLIED. IF AN ITEM BEARING THE SEAL OF A PROFESSIONAL ENGINEER IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE, THE DATE, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

NO.	DATE	DESCRIPTIONS	BY	APPR'D
11/3/14		REVISIONS BASED ON APPROVED RPZ APPLICATION		
		REVISIONS		

ENGINEER:  
URS CORPORATION  
LANDSCAPE:  
KEN SMITH LANDSCAPE ARCHITECT  
URBAN DESIGNER: MARVEL ARCHITECTS  
SURVEYOR:  
AIA ENGINEERS, LTD., PLLC

FINAL DESIGN PREPARED BY:  
URS CORPORATION  
DRAWN BY: AK  
SCALE: AS SHOWN  
CADD FILE: C:\HWMP2020-C-UTILITY.DWG

CITY OF NEW YORK  
DEPARTMENT OF DESIGN + CONSTRUCTION  
DIVISION OF INFRASTRUCTURE  
BUREAU OF DESIGN

UTILITY PLAN - SEWER WORK - I

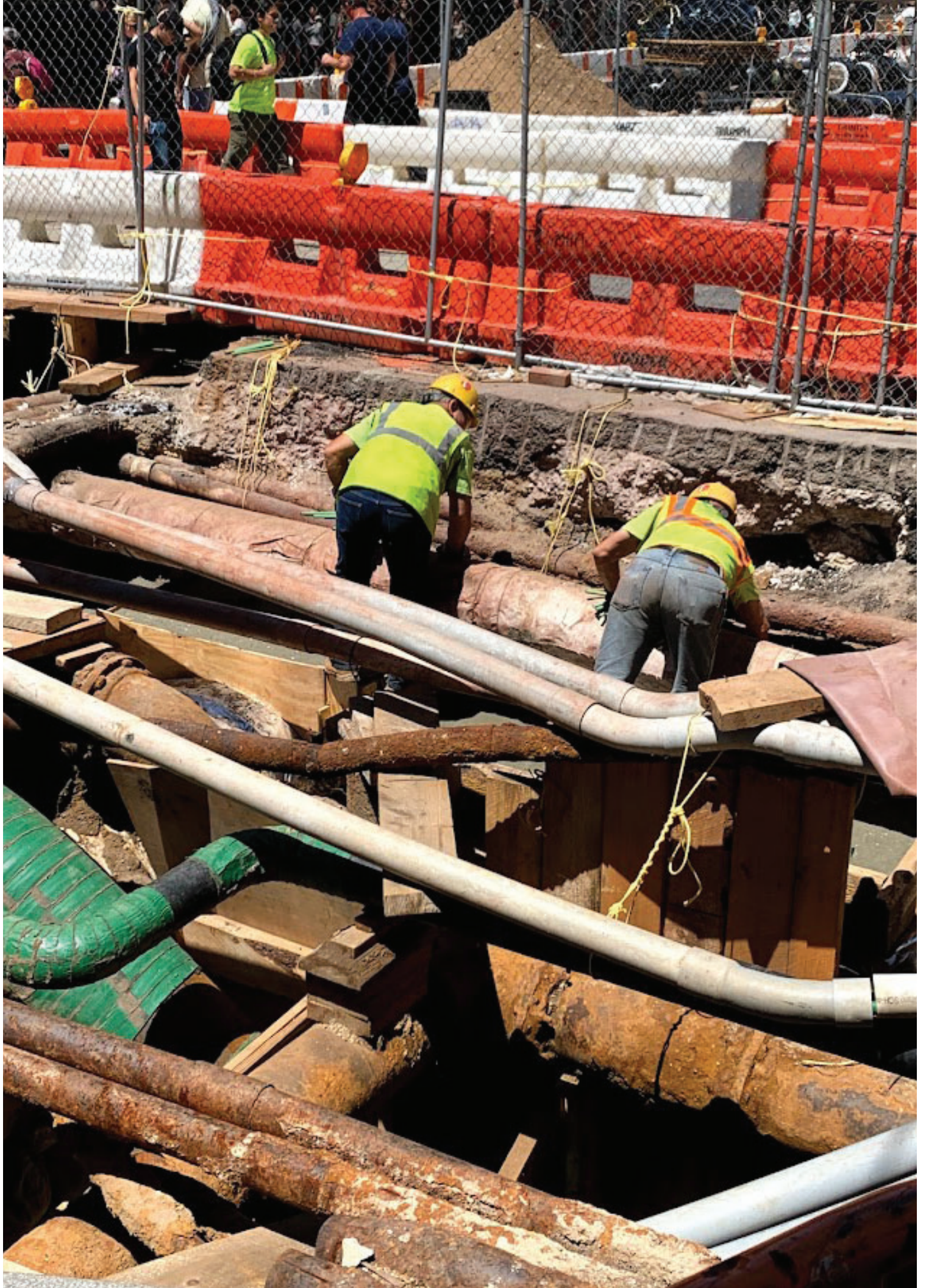
RECONSTRUCTION OF 9TH AVENUE/  
GANSEVOORT AREA  
BOROUGH OF MANHATTAN  
PROJECT ID: HWMP2020  
NYSDOT PIN: X550.67  
DATE: 4-3-2014  
SHEET 20 OF 89  
U1  
U8

FILENAME: I:\0313255 GANSEVOORT CAD\CIVIL\PLOTSHEET\C-HWMP2020-C-UTILITY.DWG DATE: 2/5/2015















# Memo

**Date:** \_\_\_\_\_  
(MM/DD/YY)

**To:** \_\_\_\_\_ Director of Construction Support Unit (CSU)

**From:** \_\_\_\_\_ Resident Engineer

**Subject:** **SUBSTANTIAL COMPLETION MEMO**

\_\_\_\_\_  
FMS (CAPIS) ID

\_\_\_\_\_  
Comptroller Registration Number

\_\_\_\_\_  
Project Description

Please be advised that the work on the above referenced project was  
**SUBSTANTIALLY COMPLETED** on: \_\_\_\_\_  
Date (MM/DD/YY)

Please complete the following statements for this project by denoting the correct response:

There  **are**  **are no** Real Property Funds (sewer house connection) chargeable to any property owners on this project.

There  **are**  **are no** sidewalk assessments chargeable to any property owners on this project.

There  **were**  **were no** sewer fixed assets installed on this project.

There  **were**  **were no** water fixed assets installed on this project.

There  **were**  **were no** catch basins installed on this project.

There  **were**  **were no** pedestrian ramps installed on this project.

As-Built Drawings, if applicable, to be prepared by  **CSU**  **Consultant** : \_\_\_\_\_

There  **are**  **are no** As-Built Drawings required to be sent to D.O.T.

There  **are**  **are no** As-Built Drawings required to be sent to D.E.P. (Check all applicable):

Sewer  **Yes**  **No** Trunk Main  **Yes**  **No** BMP  **Yes**  **No**

Attached is a copy of Schedule "A" showing the applicable Maintenance and Guarantee requirements.

I have reviewed the information listed on this memo and certify that it is accurate.

**Resident Engineer:** \_\_\_\_\_  
Print Name

\_\_\_\_\_  
*Madeline Skoblik*  
Signature

Attachment: Schedule "A" (to original only)

cc: ACCO: \_\_\_\_\_ ; Assoc. Comm. Const.: \_\_\_\_\_ ; Asst. Comm. Const.: \_\_\_\_\_ ;

Assoc. Comm. Design: \_\_\_\_\_ ; A/C Program: \_\_\_\_\_ ; Exec. Dir. Program Mgmt.: \_\_\_\_\_ ;

Dir. QA: \_\_\_\_\_ ; Dir. Const. Boro.: \_\_\_\_\_ ; Records Management; EIC File.



January 31, 2023

Mr. Scott Eshenaur, NE Regional NPAC Chairperson  
ASHE National Board  
Project of the Year Committee  
610 Radcon Street  
Johnstown, PA 15904

**Re: ASHE 2023 National Project of the Year  
Statement of Commitment**

Dear Mr. Eshenaur:

Thank you for your consideration of the 9<sup>th</sup> Avenue and Gansevoort Street Reconstruction Project for Project of the Year in the up to \$20 million construction cost category. Please accept this letter as WSP's Statement of Commitment that at least one representative from the project team will attend the awards luncheon.

If you need any additional information or clarification on anything in our submittal, please do not hesitate to contact me at 212.465.5127 or [garry.nunes@wsp.com](mailto:garry.nunes@wsp.com).

Sincerely yours,

A handwritten signature in blue ink that reads "Garry E. Nunes".

Garry E. Nunes  
Program Management/Construction Management District Leader  
Senior Vice President



**WSP USA**

Penn 1  
250 West 34<sup>th</sup> Street  
New York, NY 10119  
T: (212) 465-5000

[wsp.com](http://wsp.com)